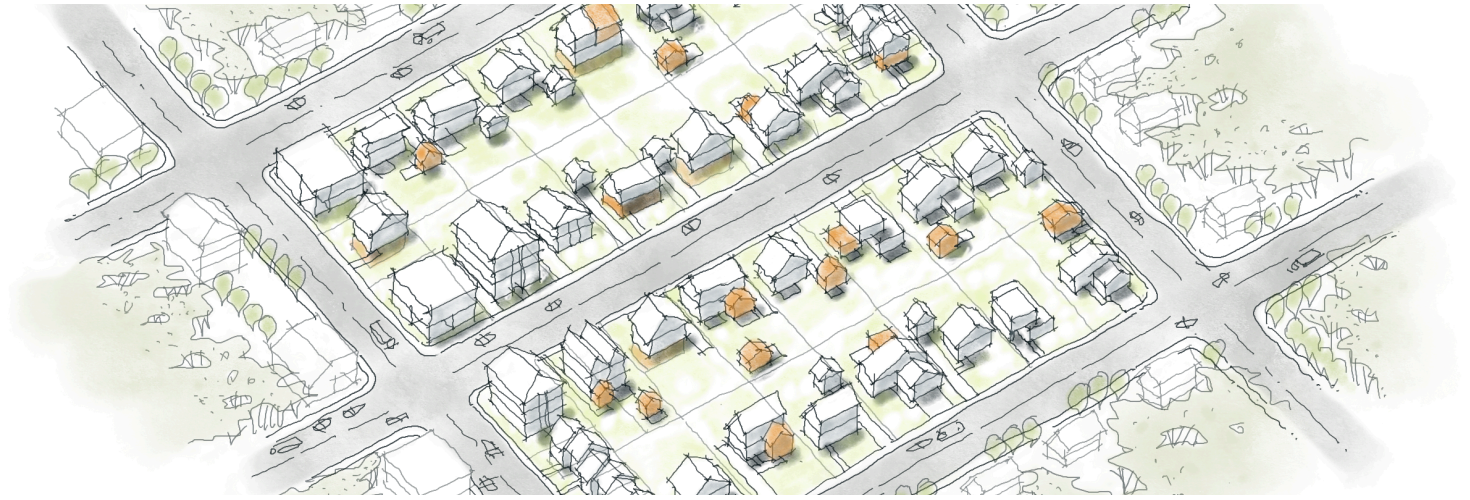


# Information Guide

## Additional Residential Units



### What are Additional Residential Units (ARUs)?

Additional Residential Units (ARUs) are separate dwelling units from the principal dwelling unit on a lot, and are located within or attached to the same building as the principal dwelling unit or in a detached accessory building on the same lot.

ARUs are separate living spaces from the principal dwelling unit with a kitchen, bathroom, sleeping and sanitary facilities. ARUs can take many forms and can be attached or within the same building as the principal dwelling unit (such as a basement, or attic conversion) or within a detached accessory building (such as a detached garage).

The ownership of the ARU coincides with the ownership of the main dwellings but can be rented to other individuals.

The benefits of Additional Residential Units include:

- Diversifying available housing and rental options to include smaller units to meet the need of a variety of residents.
- Supporting the gentle intensification of existing residential neighbourhoods.
- Providing an opportunity to create supplementary income streams for homeowners.

**This guide is not a replacement for the Town of Grimsby Zoning By-law 14-45, Grimsby Official Plan, or Niagara Official Plan. Policies and provisions outside of this guide continue to apply. Email [planning@grimsby.ca](mailto:planning@grimsby.ca) to learn more about your property.**

# Information Guide

## Additional Residential Units



### Where are Additional Residential Units (ARUs) permitted?

#### Additional Residential Units within the Urban Settlement Area

A maximum of two (2) Additional Residential Units can be located on a parcel of urban residential land:

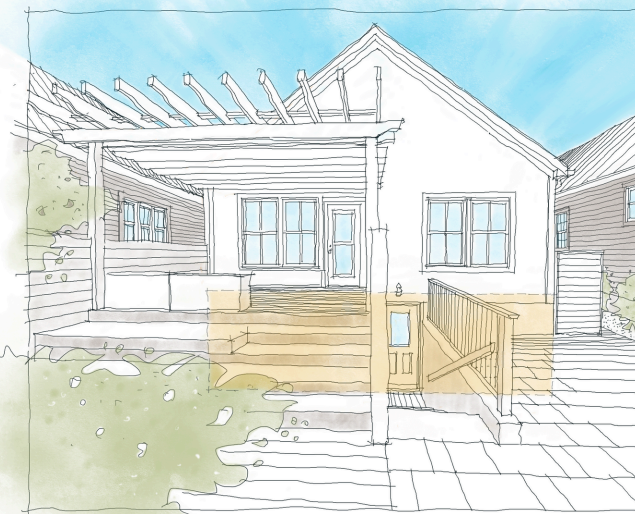
- That is within the urban settlement boundary,
- That is connected to municipal servicing,
- Where a single, semi-detached, or townhouse is permitted, and
- That can support all zoning requirements, such as parking.

**Note:** Urban Lands within the **Niagara Escarpment Plan Area** must comply with the Niagara Escarpment Plan. Lands within this area may only have a maximum of 1 ARU within the principal dwelling unit structure and are subject to further conditions.

#### Additional Residential Units within the Hamlet Area

A maximum of one (1) Additional Residential Unit can be located on a parcel of residential hamlet land:

- That is capable of supporting private sewer and water services,
- Where a single detached principal dwelling is permitted, and
- That can support all zoning requirements, such as parking.





# Information Guide

## Additional Residential Units



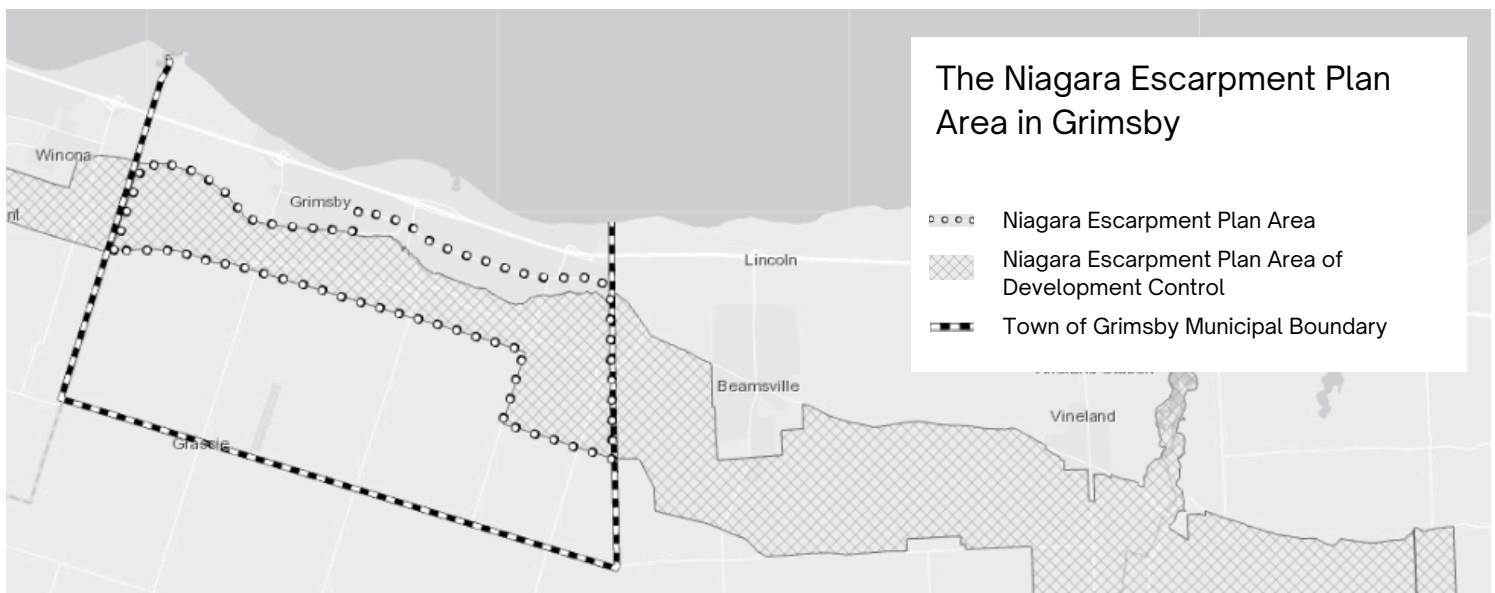
### Where are Additional Residential Units (ARUs) permitted ?

#### Additional Residential Units within the Rural and Agricultural Area

A maximum of 1 Additional Residential Unit can be located on a parcel of Rural or Agricultural land:

- That is capable of supporting private sewer and water services,
- Where a single detached principal dwelling accessory to an agricultural operation is permitted, and
- That can support all zoning requirements, such as parking.

**Note:** Lands within the **Niagara Escarpment Plan Area** must comply with the Niagara Escarpment Plan. Lands within this area may only have a maximum of 1 ARU within the principal dwelling unit structure and are subject to further conditions.



# Information Guide

## Additional Residential Units



### Where are Additional Residential Units (ARUs) permitted?

	Urban Residential Land	Hamlet Land	Rural and Agricultural Land
Permitted Zones	RD1, RD2, RD3, RD4, RD5, MS, RM1, TRM, GB, GB1, ND, MHD	HR	A, RU, SC
Permitted Principal Dwelling Type	Single Detached Dwelling, Semi Detached Dwelling, and/or Street Townhouse	Single Detached Dwelling	Single Detached Dwelling
Maximum Number of ARUs*	2*	1	1
ARU Configuration*	2 ARUs attached or within the principal dwelling building*  OR 1 ARU attached or within the principal dwelling structure and 1 detached ARU within an accessory building*	1 ARU attached or within the principal dwelling building  OR 1 detached ARU within an accessory building	1 ARU attached or within the principal dwelling building  OR 1 detached ARU within an existing accessory building*
Maximum Number of Dwelling Units	2* ARUs + 1 Principal Dwelling Unit = <b>3*</b> dwelling units on a lot	1 ARU + 1 Principal Dwelling Unit = <b>2</b> dwelling units on a lot	1 ARU + 1 Principal Dwelling Unit = <b>2</b> dwelling units on a lot

\* Lands within the **Niagara Escarpment Plan Area** must comply with the Niagara Escarpment Plan. Lands within this area may only have a maximum of 1 ARU within the principal dwelling unit structure and are subject to further conditions.



# Information Guide

## Additional Residential Units



### What is required to develop an ARU?

#### Additional Residential Units within the Urban Settlement Area

Parking	1 additional parking space is required per ARU, which may be provided in tandem. On street parking is not permitted. Refer to <i>Zoning By-law 14-45, as amended</i> for further parking requirements.
Servicing	The ARU and principal dwelling must be connected to existing municipal infrastructure.
Setbacks, Lot Coverage, & Building Height	May vary by Zone, please refer to <i>Zoning By-law 14-45, as amended</i> or contact the Planning Department by emailing <a href="mailto:planning@grimsby.ca">planning@grimsby.ca</a>
Location	ARUs must be located within or attached to the principal dwelling structure or, in a detached building on the same lot. Lands within the <b>Niagara Escarpment Plan Area</b> must comply with the Niagara Escarpment Plan, where an ARU is only permitted within the principal dwelling unit structure.
Fire Code and Building Code	All ARUs must comply with the Fire and Building Code. For more information please contact the building department by emailing <a href="mailto:building@grimsby.ca">building@grimsby.ca</a>



# Information Guide

## Additional Residential Units



### What is required to develop an ARU?

#### Additional Residential Units within the Hamlet Area

Parking	1 additional parking space is required per ARU, which may be provided in tandem. On street parking is not permitted. Refer to Zoning By-law 14-45, as amended for further parking requirements.
Servicing	The ARU and principal dwelling must be adequately serviced by private water and wastewater services.
Setbacks, Lot Coverage, & Building Height	May vary, please refer to <i>Zoning By-law 14-45, as amended</i> or contact the Planning Department by emailing <a href="mailto:planning@grimsby.ca">planning@grimsby.ca</a>
Location	ARUs must be located within or attached to the principal dwelling structure or in a detached building on the same lot.
Fire Code and Building Code	All ARUs must comply with the Fire and Building Code. For more information please contact the building department by emailing <a href="mailto:building@grimsby.ca">building@grimsby.ca</a>





# Information Guide

## Additional Residential Units



### What is required to develop an ARU?

#### Additional Residential Units within the Rural and Agricultural Area

Parking	1 additional parking space is required per ARU, which may be provided in tandem. On street parking is not permitted. Refer to Zoning By-law 14-45, as amended for further parking requirements.
Servicing	The ARU and principal dwelling must be adequately serviced by private water and wastewater services.
Setbacks, Lot Coverage, & Building Height	May vary by Zone, please refer to <i>Zoning By-law 14-45, as amended</i> or contact the Planning Department by emailing <a href="mailto:planning@grimsby.ca">planning@grimsby.ca</a>
Location	The ARU must comply with the Minimum Distance Separation (MDS) and be located within or attached or in close proximity to the primary dwelling or the farm building cluster. Lands within the <b>Niagara Escarpment Plan Area</b> must comply with the Niagara Escarpment Plan, where an ARU is only permitted within the principal dwelling unit structure.
Fire Code and Building Code	All ARUs must comply with the Fire and Building Code. For more information please contact the building department by emailing <a href="mailto:building@grimsby.ca">building@grimsby.ca</a>



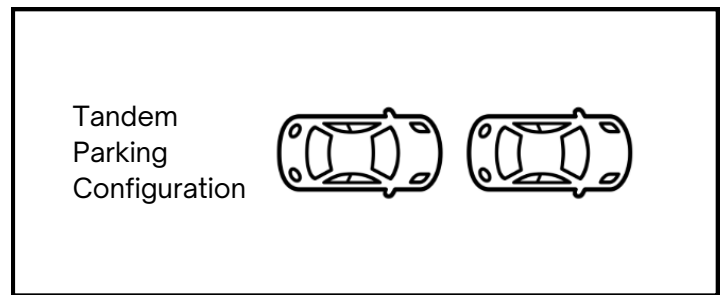
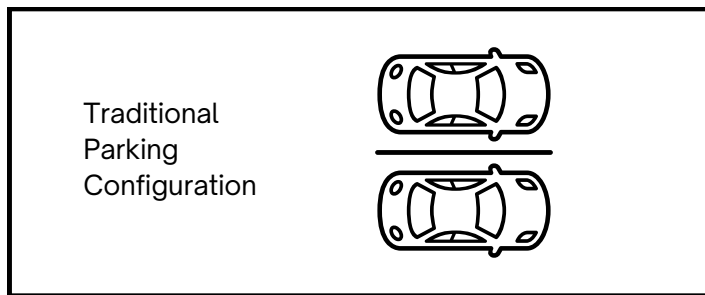


# Information Guide

## Additional Residential Units



### Frequently Asked Questions



#### ***Do I need to provide parking for an ARU on my property?***

Yes, one parking space is required per ARU which may be provided in tandem configuration. On street parking will not satisfy the parking requirements for an ARU. Refer to *Zoning By-law 14-45, as amended* for further parking requirements, such as parking space size.

#### ***Will an ARU require it's own water meter?***

No, ARUs will share the water meter with the principle dwelling unit and will not require a separate meter.

#### ***Will ARUs have a municipal address?***

Currently, ARUs will share the same address as the principle dwelling unit. The Town is exploring options to clarify addressing across Grimsby to ensure these units are more easily identifiable for emergency service providers.

#### ***Do Development Charges or Parkland Dedication apply to ARUs?***

No, ARUs have been exempted from Development Charges and Parkland Dedication by the Province of Ontario to encourage the development of more housing.

#### ***Are there other requirements or limitations that I need to consider before submitting a building permit application?***

Yes, the Official Plan and Zoning By-law permit ARUs in certain areas and the entire Official Plan and Zoning By-law must be taken into consideration. Holding zones, hazard lands, or other features can impact where an ARU can be located. Email [planning@grimsby.ca](mailto:planning@grimsby.ca) for more information about your property.

# Information Guide

# Additional Residential Units



## Frequently Asked Questions

***If my proposal for an ARU does not meet the regulations, what can I do?***

If your property or project doesn’t meet the zoning regulation requirements to permit an ARU, you may consider applying for a minor variance from the Committee of Adjustment.

If you are considering a minor variance it is best to contact Planning staff about your variance application to learn more about the application including any requirements, processes, and fees.

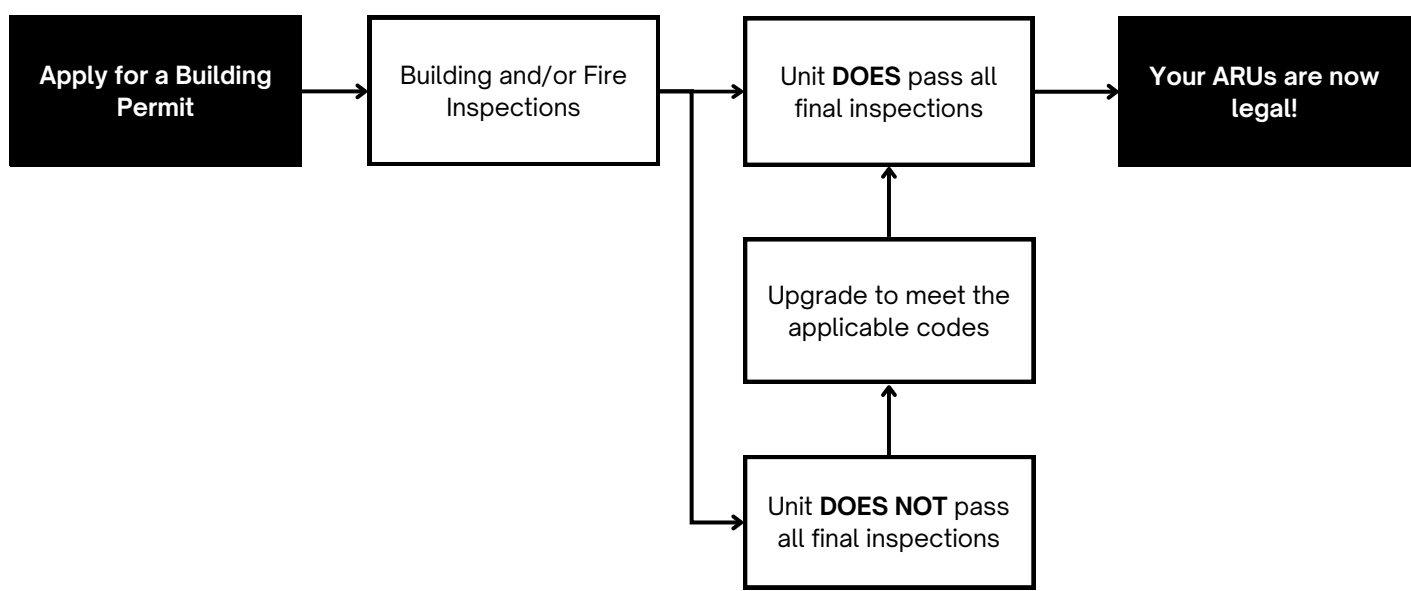
For more information email [planning@grimsby.ca](mailto:planning@grimsby.ca)

***Do I need a building permit to build an ARU?***

Yes, a building permit is required to build an ARU. For more information, please contact the Building Department by emailing [building@grimsby.ca](mailto:building@grimsby.ca).

***How can I make sure my ARU is legal?***

To be legal, your Additional Residential Unit(s) must have a building permit from the Town of Grimsby. ARUs must comply with all of the regulations under the Town’s Zoning By-law, Ontario Building Code, and Fire Code.



# Information Guide

## Additional Residential Units



### Glossary

#### **Additional Residential Unit**

Self-contained dwelling units with kitchen and bathroom facilities located within a principal dwelling or within an accessory structure that is detached from the principal dwelling and is not a dwelling unit within a Duplex, Triplex, Converted dwelling, or Garden Suite.

#### **Accessory Building**

means a building or structure naturally and normally incidental to, subordinate to or exclusively devoted to a principal use or building and located on the same lot as the principal building or use, and includes a detached garage and a detached carport.

#### **Dwelling Unit**

means one or more rooms designed and used or intended to be used as a home by one or more persons and usually containing cooking, living, sleeping and sanitary facilities, and having a private entrance and does not mean or include a tent, trailer, mobile home trailer, or a room or suite of rooms in a boarding house or in a hotel or motel.

#### **Semi-detached Dwelling Unit**

means a building that is divided vertically into not more than two dwelling units by a common wall and where the dwelling unit may be held in separate ownership. A semidetached dwelling shall also include a building divided into two dwelling units which are connected only below grade by a wall, similar in construction to the foundation walls, from the base of the foundation to a point one metre below the finished grade.

#### **Single Detached Dwelling Unit**

means a separate building containing not more than one dwelling unit.

#### **Street Townhouse Dwelling**

means a dwelling unit in a street townhouse building.

#### **Urban Settlement Boundary**

The Urban Settlement Area boundary serves to distinguish between areas intended for future urban development and areas where agriculture or other rural uses are intended to remain predominant over the long term.