

KEY PLAN

SCALE: N.T.S.

LEGEND:

--- SITE PROPERTY LINE

--- PROPOSED PROPERTY LINE

■ LIMIT OF CONSTRUCTION

--- OUTLINE OF BUILDING ABOVE

--- OUTLINE OF BUILDING BELOW

▽ PROPOSED BUILDING ENTRANCE

--- STORM SEWER AND MANHOLE

--- SANITARY SEWER AND MANHOLE

--- WATERMAIN

--- EXISTING STORM SEWER AND MANHOLE

--- EXISTING SANITARY SEWER AND MANHOLE

--- WATERMAIN

--- EXISTING PIPE REMOVAL

○ / □ QUALITY CONTROL DEVICE

○ CATCHBASIN / DOUBLE CATCHBASIN

○ CATCHBASIN MANHOLE

□ AREA DRAIN

○ HYD

○ VALVE & BOX

○ WATER METER

SITE PLAN

PREPARED BY: STUDIO JCI

DATE: MAY 16, 2025

TOPOGRAPHIC & LEGAL

PREPARED BY: J.D. BARNES LIMITED

DATE: JUNE 19, 2024

BENCHMARK NOTES

ELEVATIONS ARE OF GEODETIC ORIGIN (CGVD-1928.78), AND ARE DERIVED FROM GNSS OBSERVATIONS AND NATURAL RESOURCES CANADA'S GEOD MODEL HT2.0.

Notes

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FOR COORDINATION ONLY

No.	Issue / Revision	Date	Auth.
1	ISSUED FOR OPA/ZBA	5/16/2025	AK

LICENSED PROFESSIONAL ENGINEER

A. E. KROETSCH

100072069

May 16, 2025

PROVINCE OF ONTARIO

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Client

WOOLVERTON HOLDINGS CORP.

180 BLOOR STREET WEST, SUITE 701

TORONTO, ON

M5S 1T6

Drawing Title

THE WOOLVERTON

13 MOUNTAIN STREET & 19-23 ELM STREET

GRIMSBY, ON L3M 3J7

PRELIMINARY SITE SERVICING PLAN

Drawn	Checked	Designed	Checked	Date	Drawing No.
GP	AK	LG	AK	21/03/25	
Project No.	300053081	Contract No.		Revision No.	

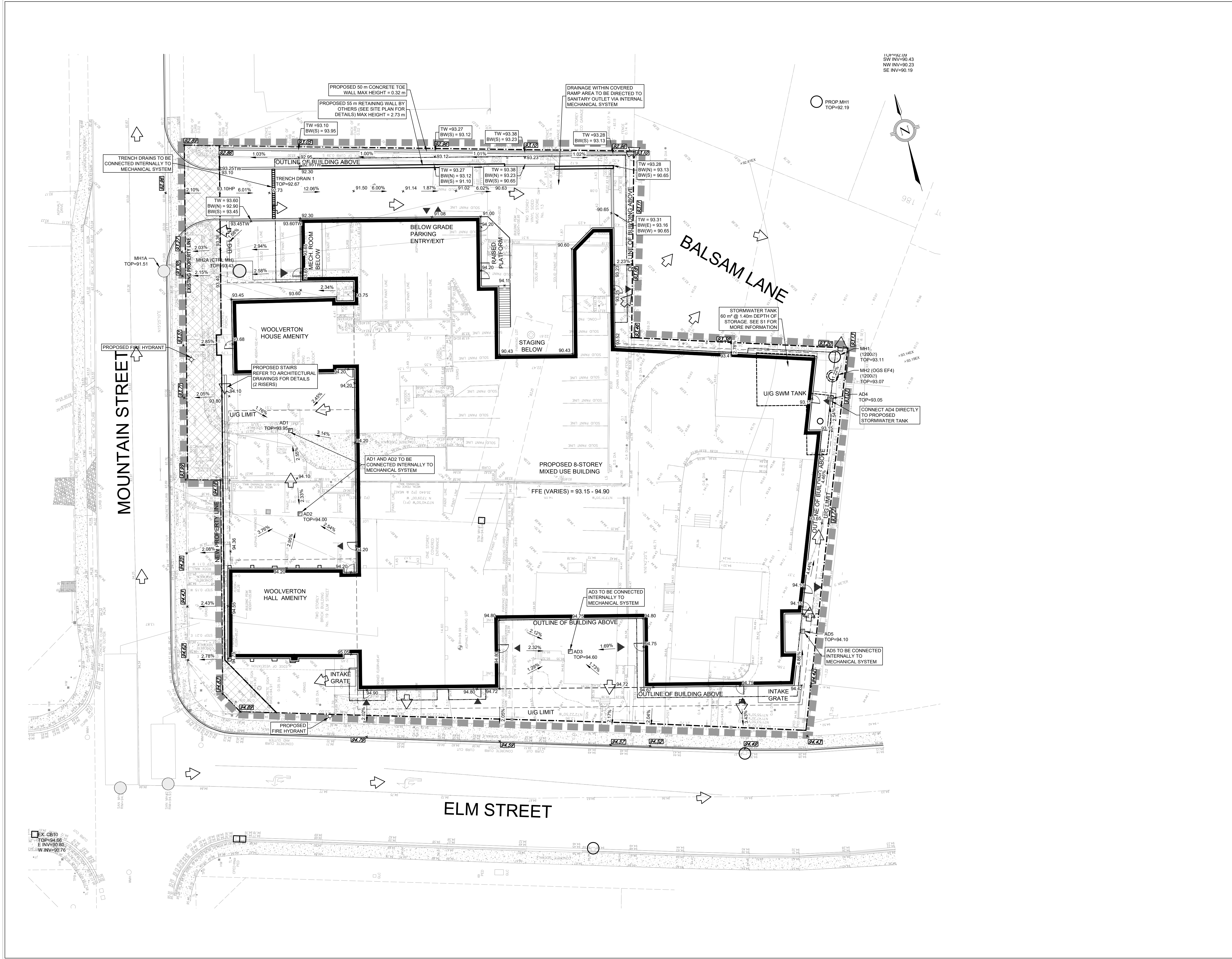
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0 4.0 8.0 12.0m

S1

Plotted by: MLej Paper size: ARCH D (24.00 X 36.00 Inches) Plot table: Rjb Full Scale-pickering 2013.ctb

File: WPCV42025-PT01 Burnside Works Area 030801 - 51.dwg Date Plotted: May 16, 2025 - 1:34 PM



KEY PLAN
SCALE: N.T.S.

LEGEND:

- EXISTING SITE PROPERTY LINE
- PROPOSED PROPERTY LINE
- OUTLINE OF UNDERGROUND (BELOW)
- LIMIT OF CONSTRUCTION
- PROPOSED BUILDING ENTRANCE
- EXISTING ELEVATIONS
- EXISTING ELEVATIONS TO MATCH
- FINISHED GROUND ELEVATION
- TOP OF CURB ELEVATION
- TOP OF WALL ELEVATION
- OVERLAND FLOW ROUTE
- PROPOSED SLOPES
- QUALITY CONTROL DEVICE
- CATCHBASIN / DOUBLE CATCHBASIN
- AREA DRAIN
- MANHOLE
- HYD
- HYDRANT AND VALVE
- VALVE & BOX

SITE PLAN
PREPARED BY: STUDIO JCI
DATE: MAY 16, 2025
TOPOGRAPHIC & LEGAL
PREPARED BY: J.D. BARNES LIMITED
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Licensed Professional Engineer
A.E. KROETSCH
100072069
May 16, 2025
PROVINCE OF ONTARIO

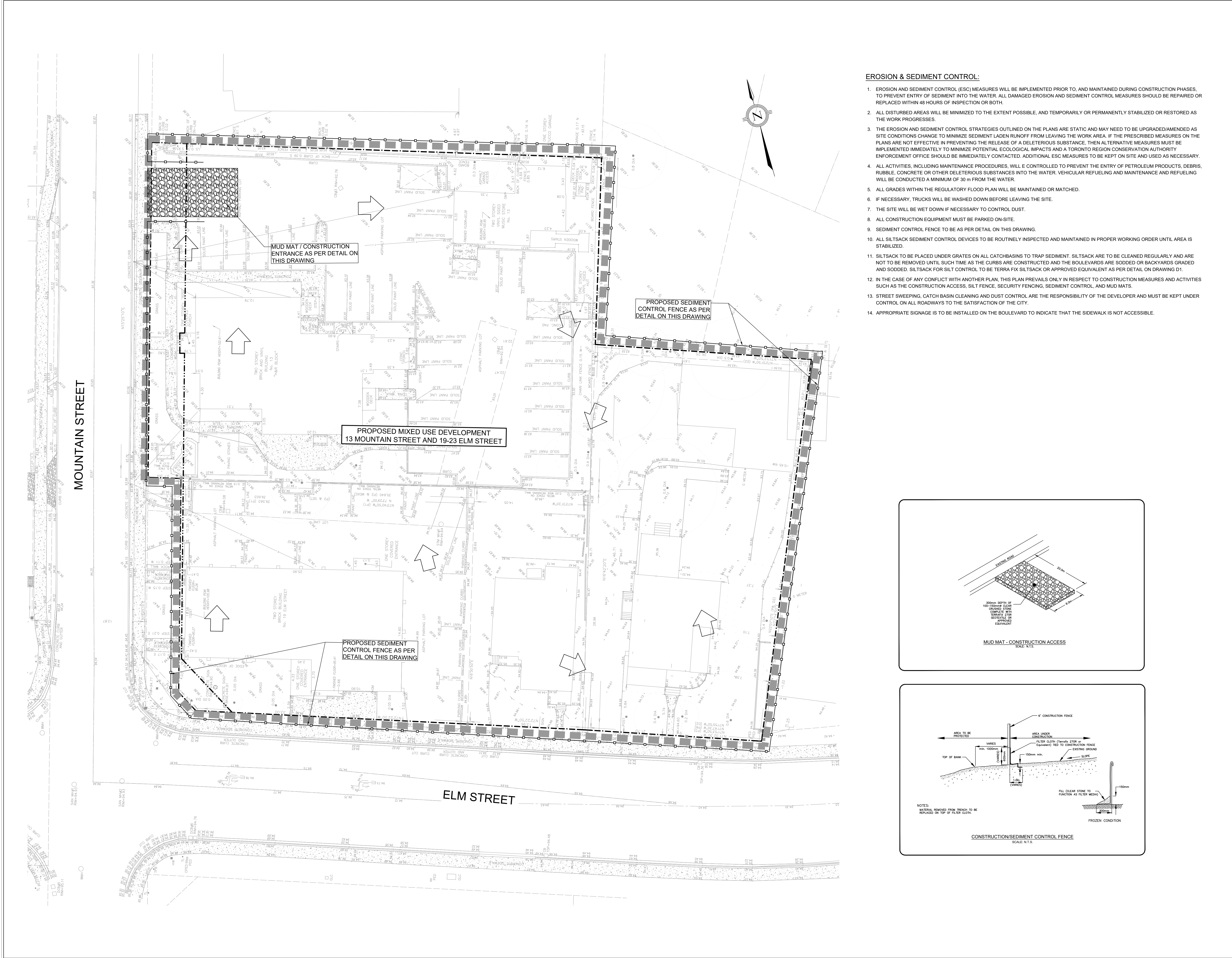
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TORONTO, ON
M5S 1T6
Drawing Title
THE WOOLVERTON
13 MOUNTAIN STREET & 19-23 ELM STREET
GRIMSBY, ON L3M 3J7
PRELIMINARY SITE GRADING PLAN

Drawn	Checked	Designed	Checked	Date	Drawing No.
GP	AK	LG	AK	21/03/25	
Project No. 300053081	Contract No.	Revision No.			

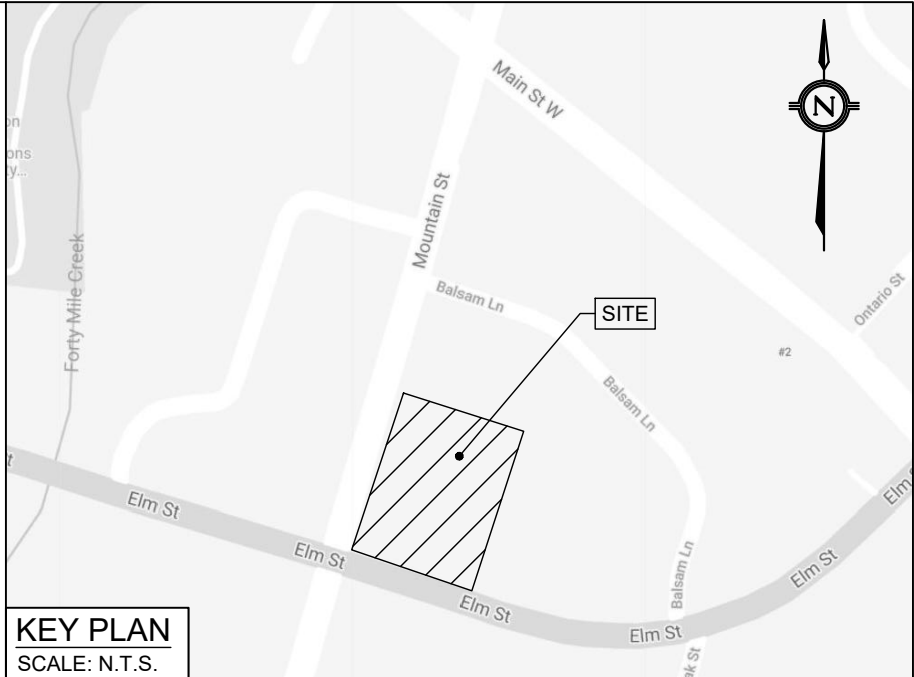
Scale: 1:200

G1



EROSION & SEDIMENT CONTROL:

1. EROSION AND SEDIMENT CONTROL (ESC) MEASURES WILL BE IMPLEMENTED PRIOR TO, AND MAINTAINED DURING CONSTRUCTION PHASES, TO PREVENT ENTRY OF SEDIMENT INTO THE WATER. ALL DAMAGED EROSION AND SEDIMENT CONTROL MEASURES SHOULD BE REPAIRED OR REPLACED WITHIN 48 HOURS OF INSPECTION OR BOTH.
2. ALL DISTURBED AREAS WILL BE MINIMIZED TO THE EXTENT POSSIBLE, AND TEMPORARILY OR PERMANENTLY STABILIZED OR RESTORED AS THE WORK PROGRESSES.
3. THE EROSION AND SEDIMENT CONTROL STRATEGIES OUTLINED ON THE PLANS ARE STATIC AND MAY NEED TO BE UPGRADED/AMENDED AS SITE CONDITIONS CHANGE TO MINIMIZE SEDIMENT LADEN RUNOFF FROM LEAVING THE WORK AREA. IF THE PRESCRIBED MEASURES ON THE PLANS ARE NOT EFFECTIVE IN PREVENTING THE RELEASE OF A DELETERIOUS SUBSTANCE, THEN ALTERNATIVE MEASURES MUST BE IMPLEMENTED IMMEDIATELY TO MINIMIZE POTENTIAL ECOLOGICAL IMPACTS AND A TORONTO REGION CONSERVATION AUTHORITY ENFORCEMENT OFFICE SHOULD BE IMMEDIATELY CONTACTED. ADDITIONAL ESC MEASURES TO BE KEPT ON SITE AND USED AS NECESSARY.
4. ALL ACTIVITIES, INCLUDING MAINTENANCE PROCEDURES, WILL BE CONTROLLED TO PREVENT THE ENTRY OF PETROLEUM PRODUCTS, DEBRIS, RUBBLE, CONCRETE OR OTHER DELETERIOUS SUBSTANCES INTO THE WATER. VEHICULAR REFUELING AND MAINTENANCE AND REFUELING WILL BE CONDUCTED A MINIMUM OF 30 m FROM THE WATER.
5. ALL GRADES WITHIN THE REGULATORY FLOOD PLAN WILL BE MAINTAINED OR MATCHED.
6. IF NECESSARY, TRUCKS WILL BE WASHED DOWN BEFORE LEAVING THE SITE.
7. THE SITE WILL BE WET DOWN IF NECESSARY TO CONTROL DUST.
8. ALL CONSTRUCTION EQUIPMENT MUST BE PARKED ON-SITE.
9. SEDIMENT CONTROL FENCE TO BE AS PER DETAIL ON THIS DRAWING.
10. ALL SILTSACK SEDIMENT CONTROL DEVICES TO BE ROUTINELY INSPECTED AND MAINTAINED IN PROPER WORKING ORDER UNTIL AREA IS STABILIZED.
11. SILTSACK TO BE PLACED UNDER GRATES ON ALL CATCHBASINS TO TRAP SEDIMENT. SILTSACK ARE TO BE CLEANED REGULARLY AND ARE NOT TO BE REMOVED UNTIL SUCH TIME AS THE CURBS ARE CONSTRUCTED AND THE BOULEVARDS ARE SODDED OR BACKYARDS GRADED AND SODDED. SILTSACK FOR SILT CONTROL TO BE TERRA FIX SILTSACK OR APPROVED EQUIVALENT AS PER DETAIL ON DRAWING D1.
12. IN THE CASE OF ANY CONFLICT WITH ANOTHER PLAN, THIS PLAN PREVAILS ONLY IN RESPECT TO CONSTRUCTION MEASURES AND ACTIVITIES SUCH AS THE CONSTRUCTION ACCESS, SILT FENCE, SECURITY FENCING, SEDIMENT CONTROL, AND MUD MATS.
13. STREET SWEEPING, CATCH BASIN CLEANING AND DUST CONTROL ARE THE RESPONSIBILITY OF THE DEVELOPER AND MUST BE KEPT UNDER CONTROL ON ALL ROADWAYS TO THE SATISFACTION OF THE CITY.
14. APPROPRIATE SIGNAGE IS TO BE INSTALLED ON THE BOULEVARD TO INDICATE THAT THE SIDEWALK IS NOT ACCESSIBLE.



- LEGEND:**
- SITE PROPERTY LINE
 - LIMIT OF CONSTRUCTION
 - x 93.79 EXISTING ELEVATIONS
 - SEDIMENT CONTROL FENCE
 - OVERLAND FLOW ROUTE

SITE PLAN
PREPARED BY: STUDIO JCI
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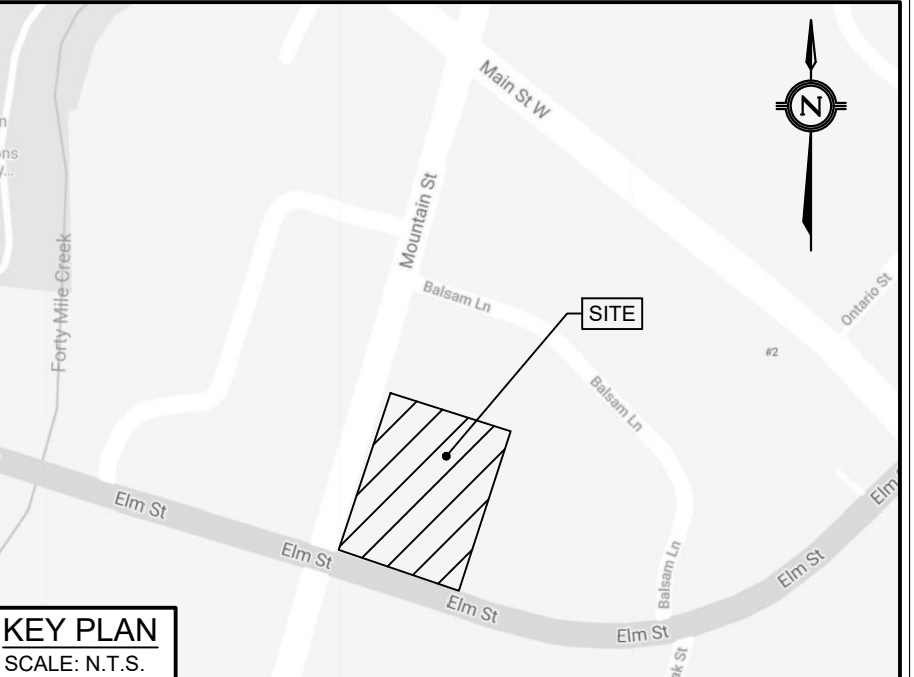
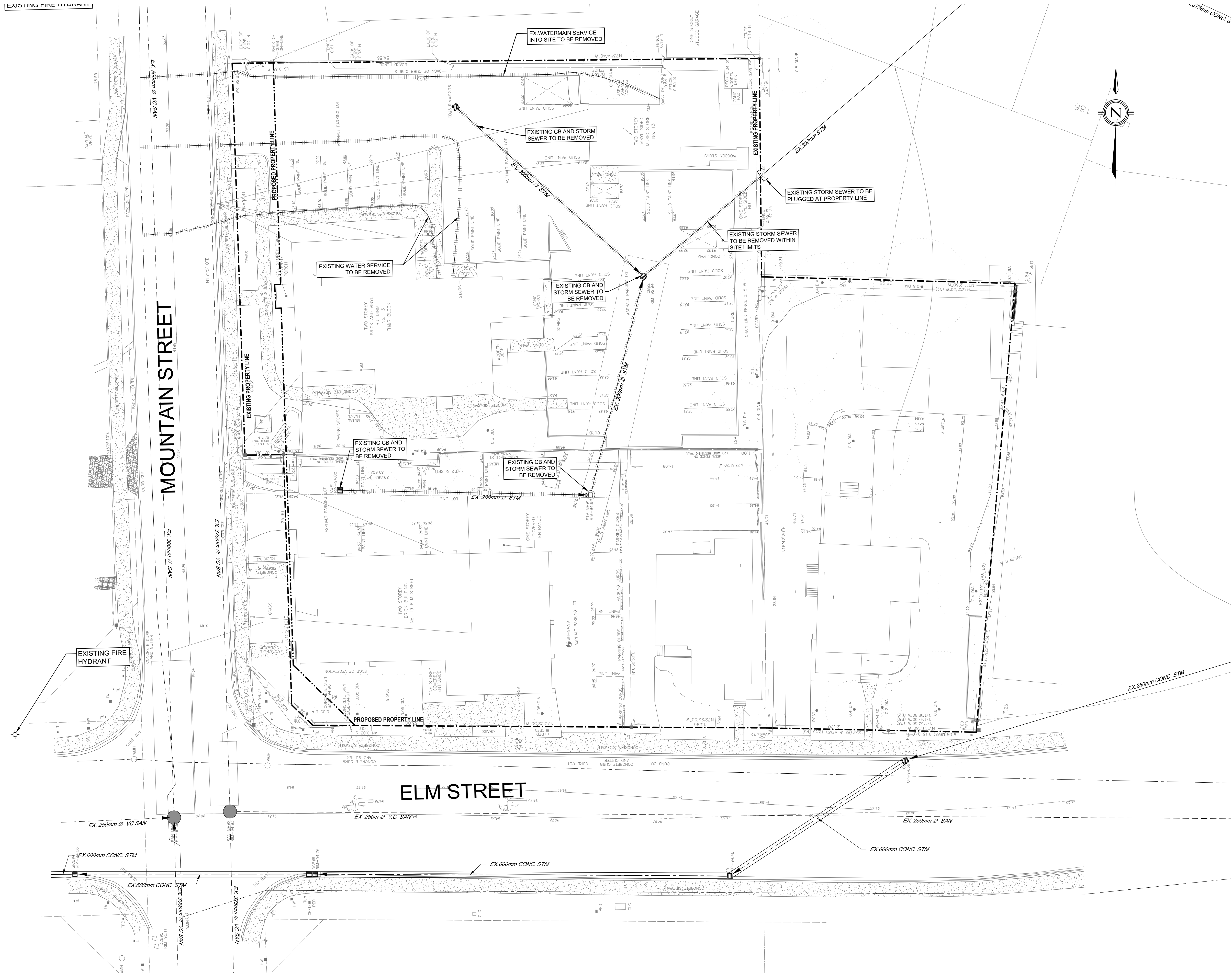


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EROSION AND SEDIMENT CONTROL PLAN

Drawn GP	Checked AK	Designed LG	Checked AK	Date 21/03/25	Drawing No.
Project No. 300053081	Contract No.	Revision No.			
Scale 1:200	0	4.0	8.0	12.0m	ESC1



- LEGEND:**
- EXISTING PROPERTY LINE
 - - - PROPOSED PROPERTY LINE
 - + + + SERVICE REMOVALS

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EXISTING CONDITIONS AND REMOVALS PLAN

Drawn GP	Checked AK	Designed LG	Checked AK	Date 21/03/25	Drawing No.
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Scale 1:200	0	4.0	8.0	12.0m	EX1

REMOVALS NOTE:

- ALL UNDERGROUND, ABOVEGROUND, AND SURFACE WORKS TO BE REMOVED WITHIN SITE LIMITS.
- THE TWO EXISTING BUILDINGS AT 21 & 23 ELM STREET ARE TO BE DEMOLISHED.
- ONLY THE EXISTING TWO STOREY BRICK BUILDINGS AT 19 ELM STREET AND 13 MOUNTAIN STREET WILL REMAIN AND BE INTEGRATED INTO PROPOSED DESIGN. SEE SITE PLAN PREPARED BY STUDIO JCI FOR DETAILS.