



2025

Annual Report

PLANNING AND DEVELOPMENT SERVICES



As Director of the Planning and Development Services Department, I am pleased to present our annual report of the Department's core services and achievements for 2025.

The Planning and Development Services Department has been busy advancing important projects and processing many applications and permits over the past year. Staff have worked diligently, finding new and innovative ways to serve our community both internally and externally through a wide range of services; I am proud of what we have achieved.

Planning staff scheduled 18 pre-consultation meetings. The Town received and processed 19 development applications and 35 applications through the Committee of Adjustment. Heritage Planning remained a priority throughout the year, with Staff preparing 29 recommendation reports and issuing 6 properties with municipal grant funding to residents and local businesses for improvements and maintenance of their heritage properties.

Economic development was at the forefront in 2025 with strong advancement in business attraction and retention. This was achieved through the establishment of the successful business ambassador program; connecting local business leaders with future business interest. The Town had several very successful events, including the Mayor's Business Breakfast, the Economic Gala, and the Energy Summit. These events brought together the business community for important networking opportunities and tackled topics current to economic challenges.

In 2025, Development Engineering joined the Planning and Development Services Department through a corporate reorganization initiative. This shift combines engineering and planning expertise, seeing efficiencies in process. The team also continues to participate in the preparation of engineering guidelines for the Town. This project will provide clarity and transparency for Town engineering and infrastructure requirements. Both the organizational shift and the guidelines reinforce our commitment to providing customer service excellence.

The Department was also able to advance several of Council's Strategic Plan action items, including releasing and engaging on the first complete draft of the Official Plan, advancing important heritage designations, supporting the advancement of GO transit in Grimsby, and building on economic strengths through action and investment.

I also recognize and appreciate the dedication of our citizen and business members who assist our Department's function by serving on the Planning and Development Committee, Committee of Adjustment, Municipal Heritage Advisory Committee, Grimsby Economic Development Advisory Committee, and the Development Industry Liaison Taskforce.

As a Department, we accomplished a great deal in 2025. I look forward to continuing our commitment to process improvements, expeditious review of applications, and tackling the challenges in the year ahead.



Message from the
**Director of Planning and
Development Services**

Snapshot of 2025

INPUT

Town planning is driven by inputs from various community stakeholders. The volume and type of applications are divided amongst staff including development, policy, permits, and compliance.



14 Staff working in Planning and Building



110+ Planning applications at various stages in the process

PROCESS

An application or permit submitted to the Town is staff is often required to go through various tests to ensure its suitability for the town. Guided by the Official Plan, the process may include public consultation, site visits, committee meetings and Council approval.

Council

18

Meetings

50

Reports

Heritage Committee

10

Meetings

29

Reports

Planning and Development Committee

11

Meetings

21

Reports

Committee of Adjustment

10

Meetings

46

Reports

OUTPUT

13

Site Plans under construction

6

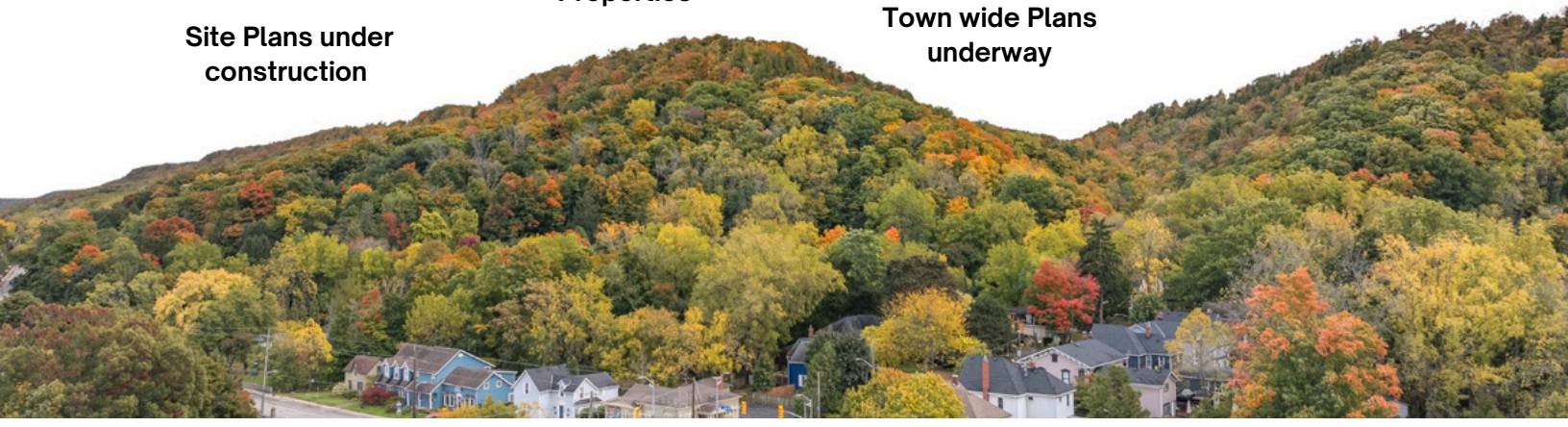
Designated Heritage Properties

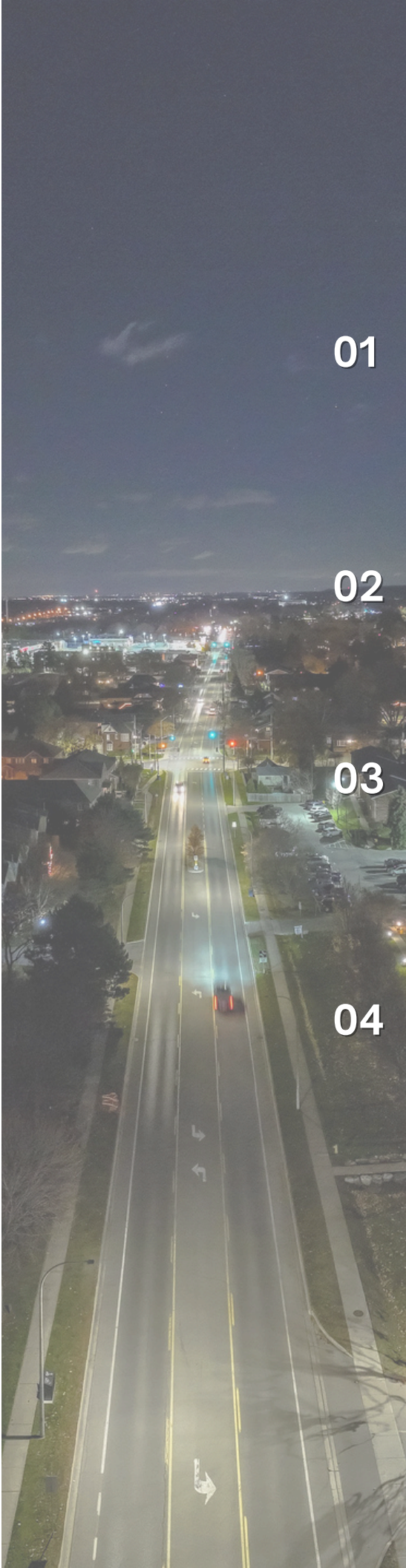
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Town wide Plans underway

7000+

Residents engaged or consulted





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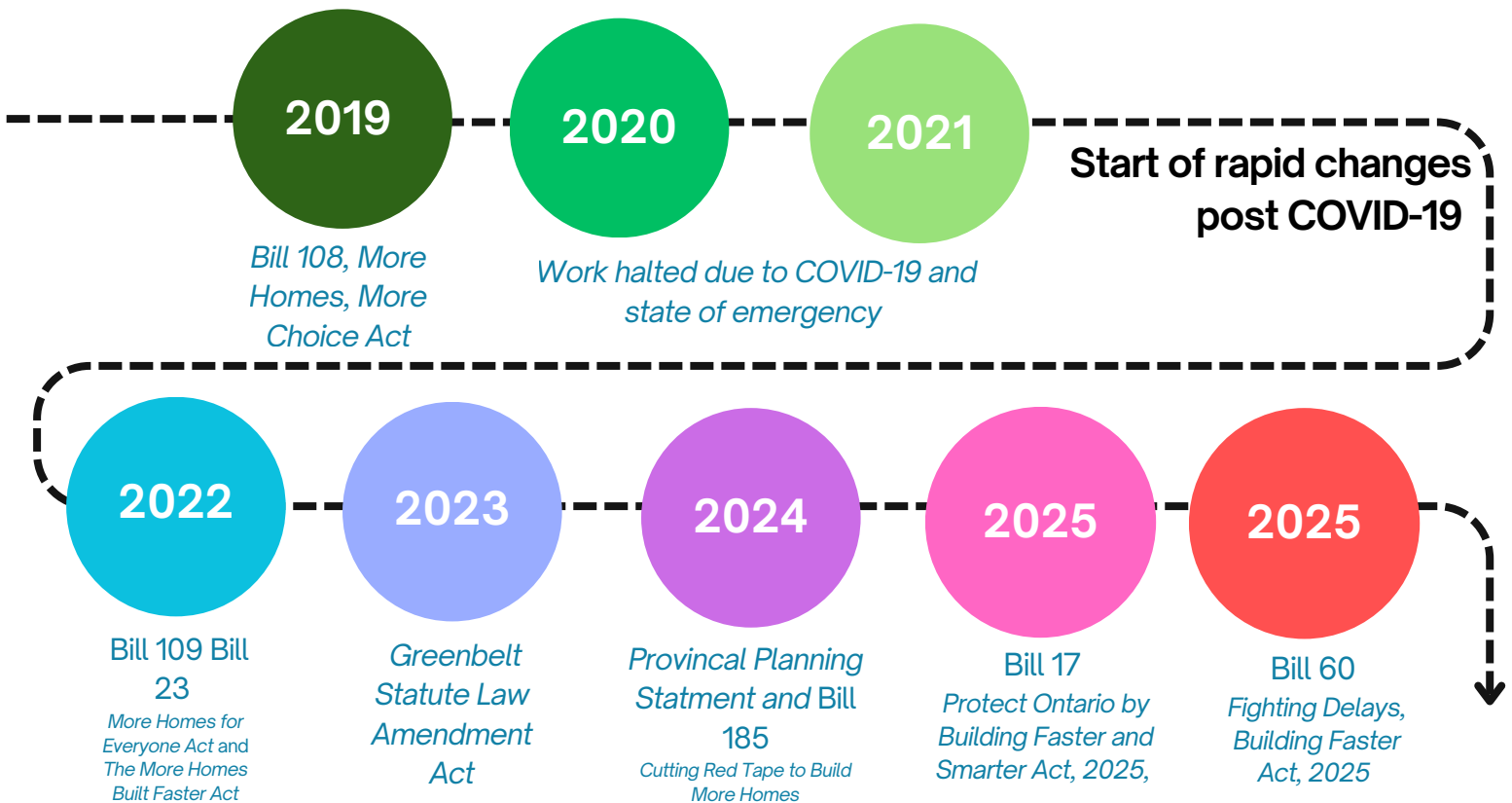


LONG-RANGE WORK

Policy and Plans that make
Grimsby work

Long-range Work: A timeline of Change

Since 2019, the Province has implemented several legislative changes that impact planning across Ontario. After 2021, these changes came rapidly, altering the planning process notably.



On June 5, 2025, *Protect Ontario by Building Faster and Smarter Act, 2025* received Royal Assent. Later in the year, on November 27, 2025, *Fighting Delays, Building Faster Act, 2025* received Royal Assent. Bills 17 and 60 add to the on-going commitment of the Ontario Provincial Government to accelerate infrastructure, transit, and housing construction by reducing development charges, and streamlining approvals.



Long-range Work: Progress in the Official Plan

Grimsby Policy Hierarchy

Legislation

The Planning Act
Ontario Heritage Act

Provincial Plans and Policy

Provincial Planning Statement
The Greenbelt
Niagara Escarpment

Local Plans

Niagara Region OP
Town of Grimsby OP

Zoning By-law

By-law 14-45

Policy staff continue to work on the **Official Plan (OP) Project**. In 2025, policy staff worked towards preparing a draft of the new Official Plan, by incorporating both public and agency feedback. As of 2026, the new draft OP has been published to further feedback.



9000+
Individuals
engaged
since 2023



15
reports written
by staff and
consultants



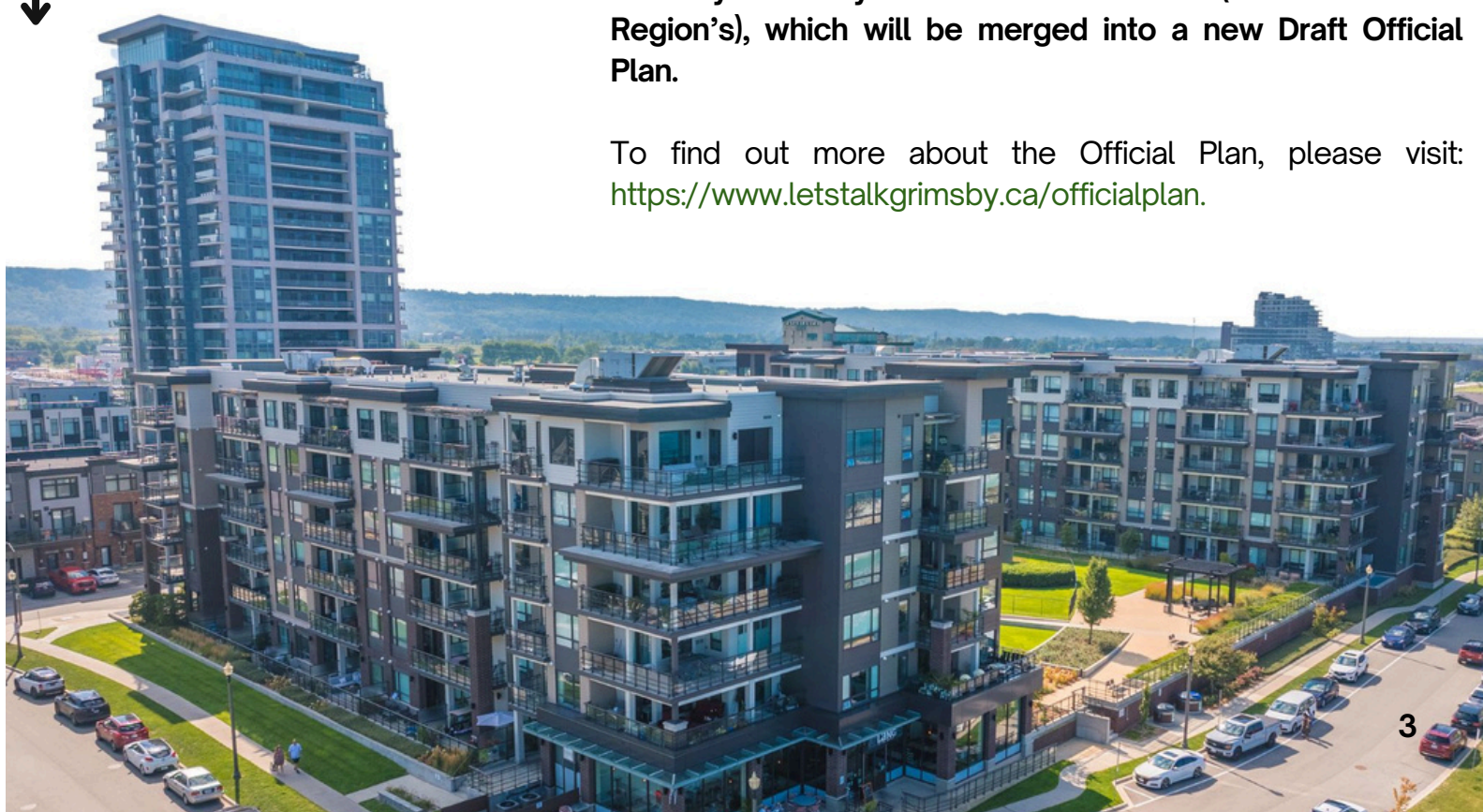
8+
Meetings with
Council and
Planning
Committee



Next Steps
Official Plan
Approval 2026

As of March 31, 2025, Regional planning responsibilities have shifted from Niagara Region to the Town. As a result, Grimsby currently has two Official Plans (its own and the Region's), which will be merged into a new Draft Official Plan.

To find out more about the Official Plan, please visit:
<https://www.letstalkgrimsby.ca/officialplan>.



Long-range Work: Major Projects Profiles



Lead: Additional Dwelling Units By-law

Official Plan Amendment and Zoning By-law Amendment to update its planning framework to align with recent Provincial legislation, regulations, concerning Additional Residential Units. The By-law was approved at Council on August 11, 2025.



Lead: Municipal Addressing By-law

Planning Staff have undertake an By-law review to implement a consistent municipal addressing by outlining numbering standards, design standards, administration, and enforcement. This by-law is projected to brought forth for recommendation in 2026.



Collaboration: Parks Master Plan

A Town-wide Parks Master Plan will assist Council and staff in managing the direction of parks, trail and waterfront assets and services. Planning staff continue to work with Parks staff to ensure that major plan reviews are consistent and comprehensive.



Collaboration: Transportation Master Plan

A Town-wide Transportation Master Plan (TMP) aims to guide transportation planning and infrastructure and more over the next 20+ years. Throughout 2025, Planning staff continue to work with Public Works staff to ensure that major plan reviews are consistent and comprehensive.



COMMUNITY

People that call
Grimsby home

Community: More for the People

Planning staff, alongside several other departments, continue to consult the community on new and changing applications. From inquiries to public meetings, staff provide information and resources to community members wishing to learn more about the planning process and any active applications.

Some methods used by planning staff to engage the community include:

- Public Meetings
- Public Information Centres and Special Events
- Council and Committee meetings
- Online through www.letstalkgrimsby.ca

Collaboration across the Municipality



Grimsby Heritage Week

Members of the Grimsby Heritage community came together to produce a Map featuring some of Grimsby's special historic sites. This project was completed in partnership with Nelles Manor Heritage House, Grimsby Historical Society, and the Town of Grimsby – including the Grimsby Museum, Heritage Planning team and the Grimsby Heritage Advisory Committee.



Peach King Centre Expansion

Staff collaborated across the municipality to plan the expansion of Grimsby's Peach King Centre through the site plan process. Construction began in late 2024 and was completed in January of 2026. The expansion is now open for the public.



GO Transit Expansion

In early 2025, the Province moved forward with announcing a Request for Proposal for the development of the Grimsby GO Station. This GO Station will connect Grimsby residents to Toronto and Niagara Falls by train. Town leadership continue to collaborate with the Province as the project progresses.



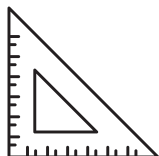
Community: Working Together

Planning staff work across several departments and local agencies to provide timely and useful responses to public inquiries regarding zoning, active projects, and upcoming events. Planning staff often provide support in various ways including in-person meetings, permit review, and email communication. As of 2025, planning staff responded to:



700+

Correspondences
across the
community



94

Building permit
reviews
completed by
Staff



20

Zoning
verification
letters
completed by
Staff

Economic Snapshot

In Grimsby Council approved and launched the Economic Development Strategic Action Plan for 2022-2025. It outlines how Staff will enable businesses to grow and create new jobs. Since the establishment of that Action Plan, Grimsby has seen growth through:



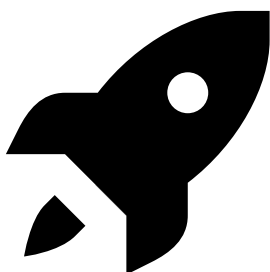
50,000

Total population
forecasted
for 2051



10+

Businesses
expanded their
operation



\$114.1 M

Total Value of
Building permits

A Range of Industries



John Deere, agricultural machinery

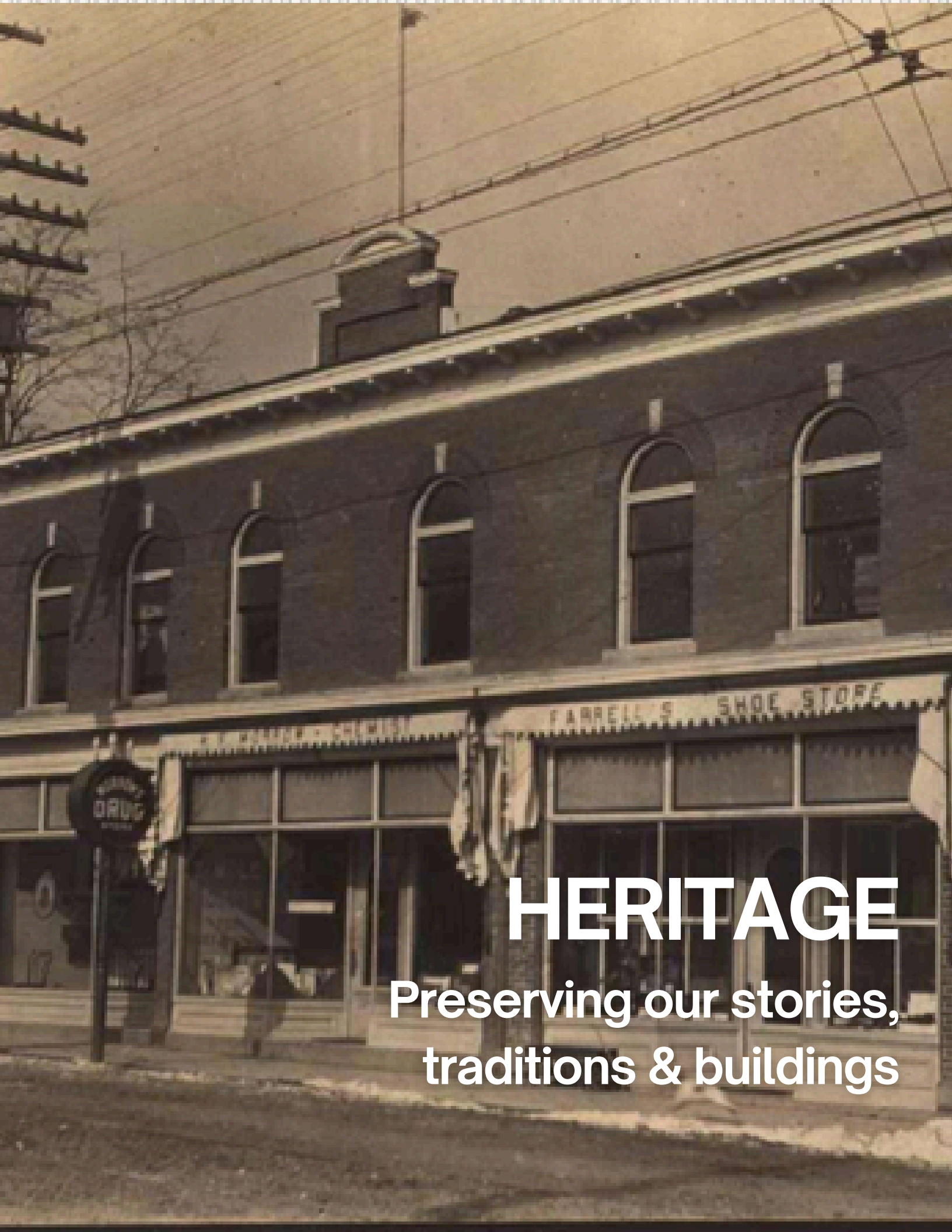


Andrew Peller, Wine Production and Sale



Forty Creek, Distillery

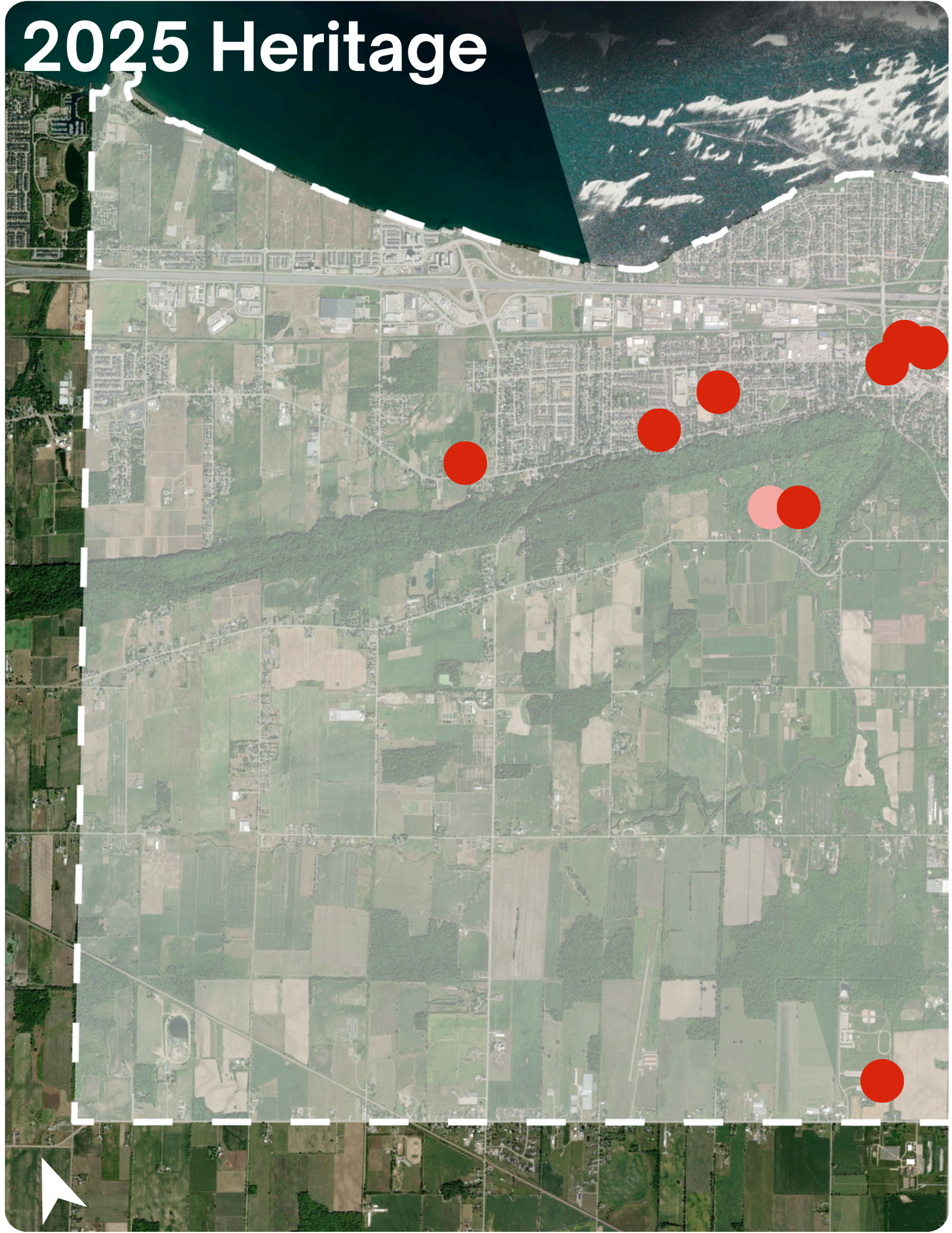
To find out more about Economic Growth in Grimsby check out: <https://www.grimsby.ca/build-and-invest/economic-development/>



HERITAGE

Preserving our stories,
traditions & buildings

2025 Heritage

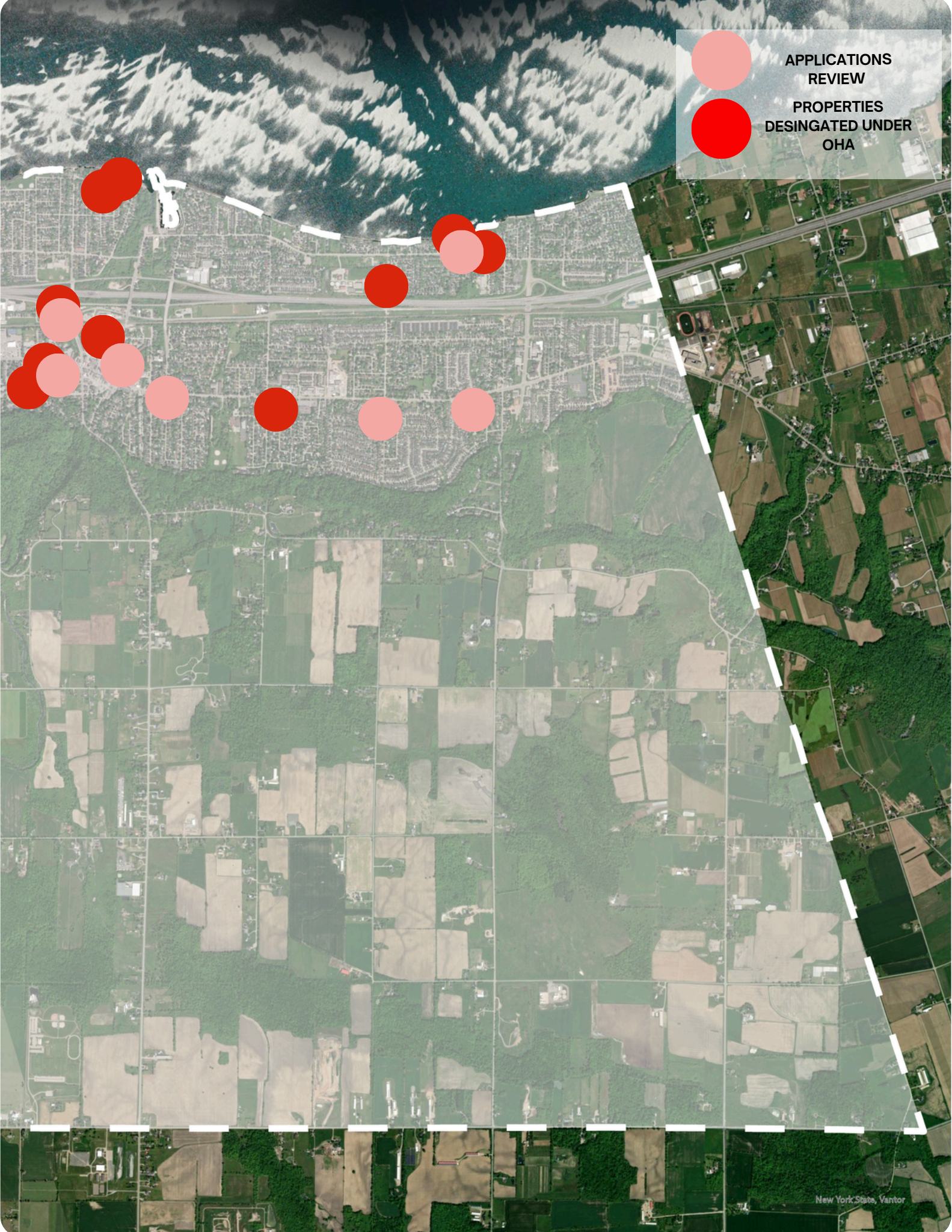




APPLICATIONS
REVIEW



PROPERTIES
DESINGATED UNDER
OHA



Heritage: Best Practices in Action

The *Ontario Heritage Act* is the primary legislative tool governing heritage conservation in Ontario. The Heritage planning team, Grimsby Heritage Advisory Committee, and Council preserve the Town’s cultural heritage through the following methods:

- Individual Designation
- Investigation of Heritage Conservation Districts
- Heritage Easements
- Development Review
- Heritage Permits
- Heritage Property Standards/Enforcement
- Heritage Policy Development
- Property Owner Support
- Heritage Grants & Tax Rebate Program

As of March 2025, with the shift in planning responsibilities from the Region, the Town is now required to implement the **Regional Archaeological Management Plan**. Heritage staff have prepared and completed the following related to heritage:

175

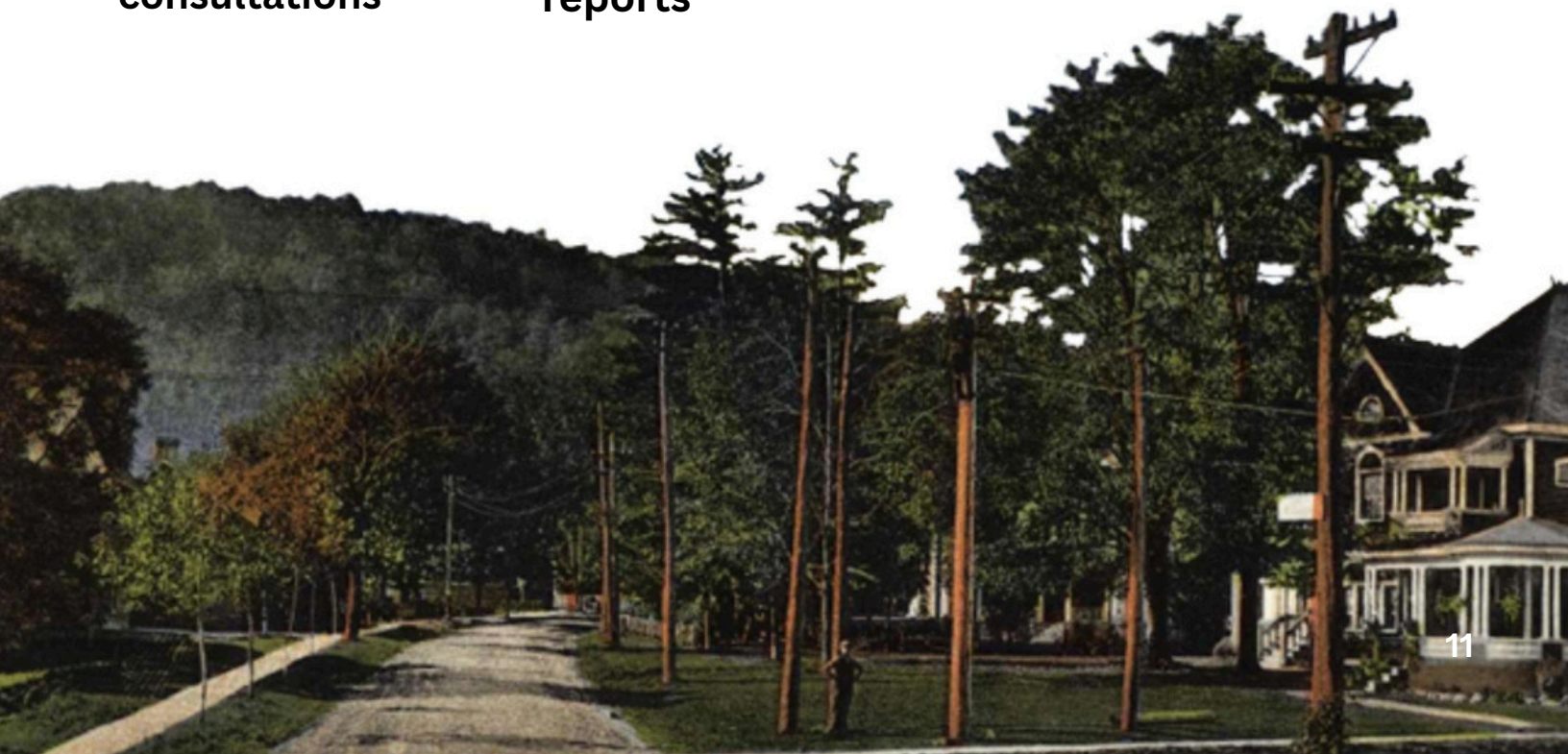
Property owner consultations

29

Recommendation reports

68+

Archaeological Assessments





Heritage: Property Designations

The Town of Grimsby is currently undergoing a significant heritage resource review, with a focus on the designation and recognition of important historic structures. The Town would like to extend a special thank you to all the heritage property owners for their commitment to preserving and maintaining these important heritage properties by highlighting the beauty and culture of the properties protected.

500+

Properties under review

400+

Properties on the Town's Heritage Register

64

Properties protected since 2025

Heritage: Major Projects Profiles



Tax Rebate Program

As of 2025, Heritage staff have created and implemented a Heritage Tax Rebate Program to provide up to 40% relief on municipal and education taxes. Upwards of 75+ properties are eligible for this program, with **\$50,000** of allocated funds. 29 applications have received for tax relief.



Heritage Conservation District Study

As of fall 2025, following Council direction, the study has refocused the scope to prioritized individual designations for the properties identified through the study. Heritage staff continue to consult with homeowners within the defined study area.



Grant Program

A new grant incentive program was developed in 2024 to better serve the needs of the heritage property owners. The program has upwards limit of \$20,000 in grants have been awarded. As of 2025, the grant program's commencement resulted in 6 successful applications.



Main Street Preservation

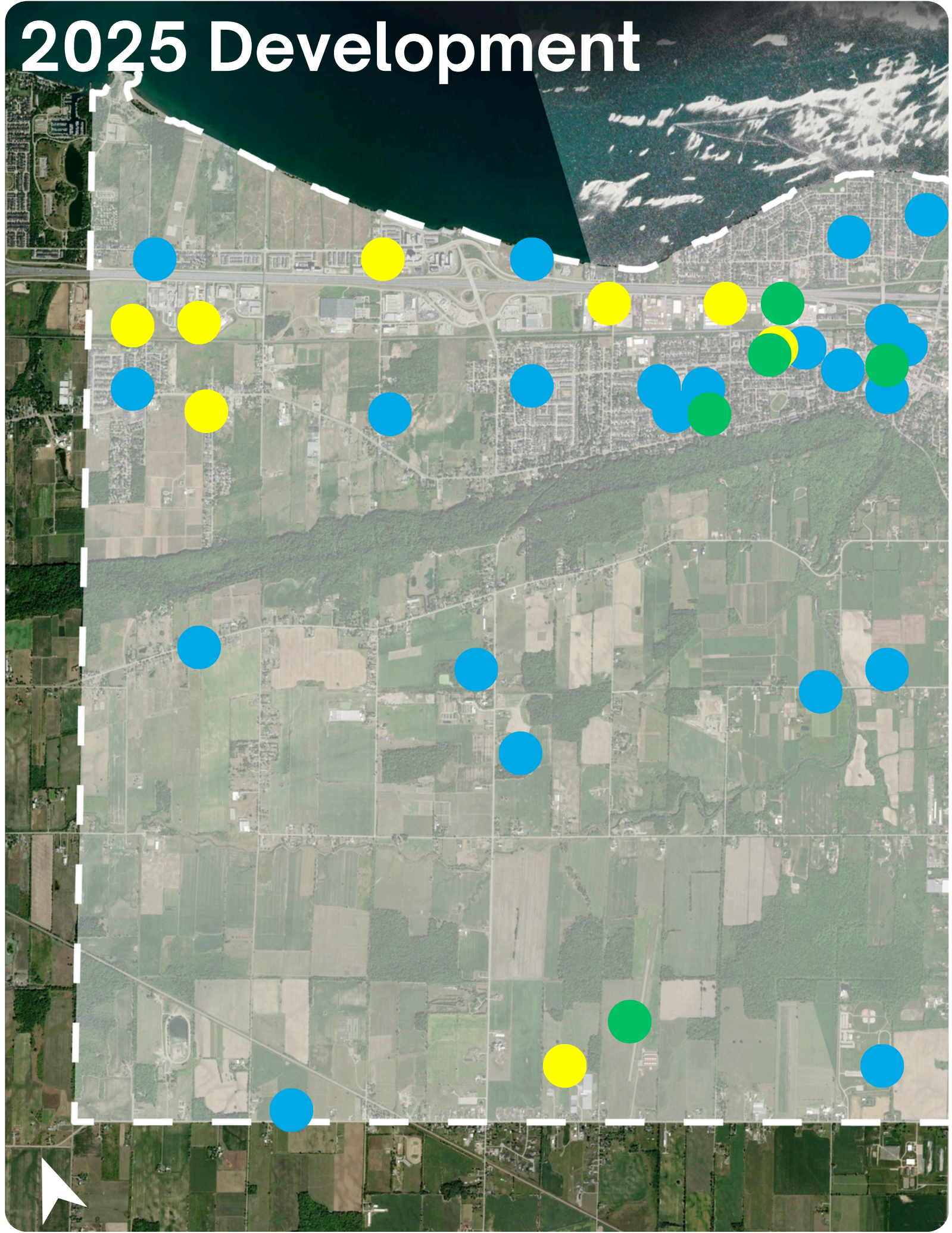
In 2025, the Town of Grimsby partnered with Nelles Manor Museum and Willowbank School of Restoration Arts to complete a Conservation Master Plan for one of the oldest stone buildings in Niagara. In 2026, this plan will help continue 55+ years of impressive conservation work at Nelles Manor.



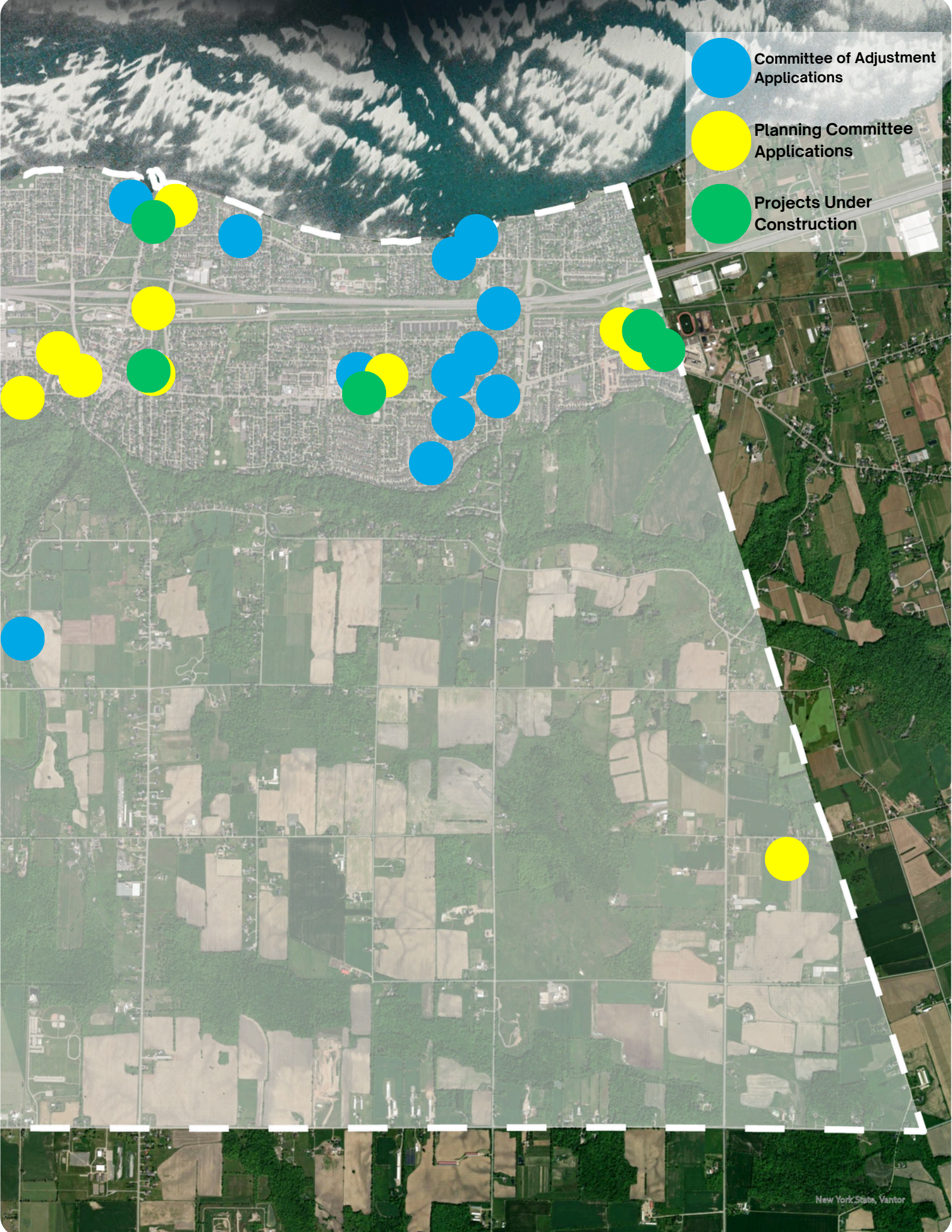
BRICK WORK

Planning the
future of Grimsby

2025 Development



-  Committee of Adjustment Applications
-  Planning Committee Applications
-  Projects Under Construction



Brick Work: Growth in the Town

Under the *Planning Act* and guided by the *Provincial Planning Statement* and other Provincial Plans, an application made to the Planning Department can range from paving a parking lot through site plan to building a new home located in a plan of subdivision. Applications that are reviewed by staff include:

- Consent and minor variance
- Official plan amendments
- Plan of condominium
- Plan of subdivision
- Site plan
- Zoning by-law amendments
- Niagara Escarpment Commission Permit Review

Applications of consent and minor variance are all reviewed by staff and presented to Committee of Adjustment (COA) for approval. In 2025 there were:

10

COA Meetings

52

Reports by staff

All other applications, exclusive to Site Plan, are reviewed by staff and presented to the Planning and Development Committee (PDC), before being directed to Council for decision. In 2025:

11

PDC Meetings

21

Reports by staff



Brick Work: Over the Finish Line

Once Planning Staff have completed a review of a planning application, Staff will bring their recommendations to respective Committees and Council for decision, where applicable. Between 2024-2025, planning staff reviewed the following:

1 Official Plan Amendment Applications	3 Plan of Condominium Applications
6 Zoning By-law Amendment Applications	35 Committee of Adjustment Applications
10 Niagara Escarpment Commission Permit Applications	53 Completed Applications

As regulated by the *Planning Act*, Site Plan applications, are reviewed and approved by the appointed member of staff.

9 New Site Plan Applications in 2025	21 Active Site Plan Applications from 2024
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Brick Work: Shovels in the Ground

Development Engineering Staff are responsible for reviewing and coordinating civil engineering aspects of development projects and planning applications to ensure compliance with Town and industry standards, policies and regulations. Staff provide technical comments on grading, stormwater management, servicing, and site design. Once there is an approved application in place, Development Engineering is also responsible in supporting the construction phase through on-site inspections, record keeping, and quality assurance.

In 2025, Development engineering staff oversaw:

6

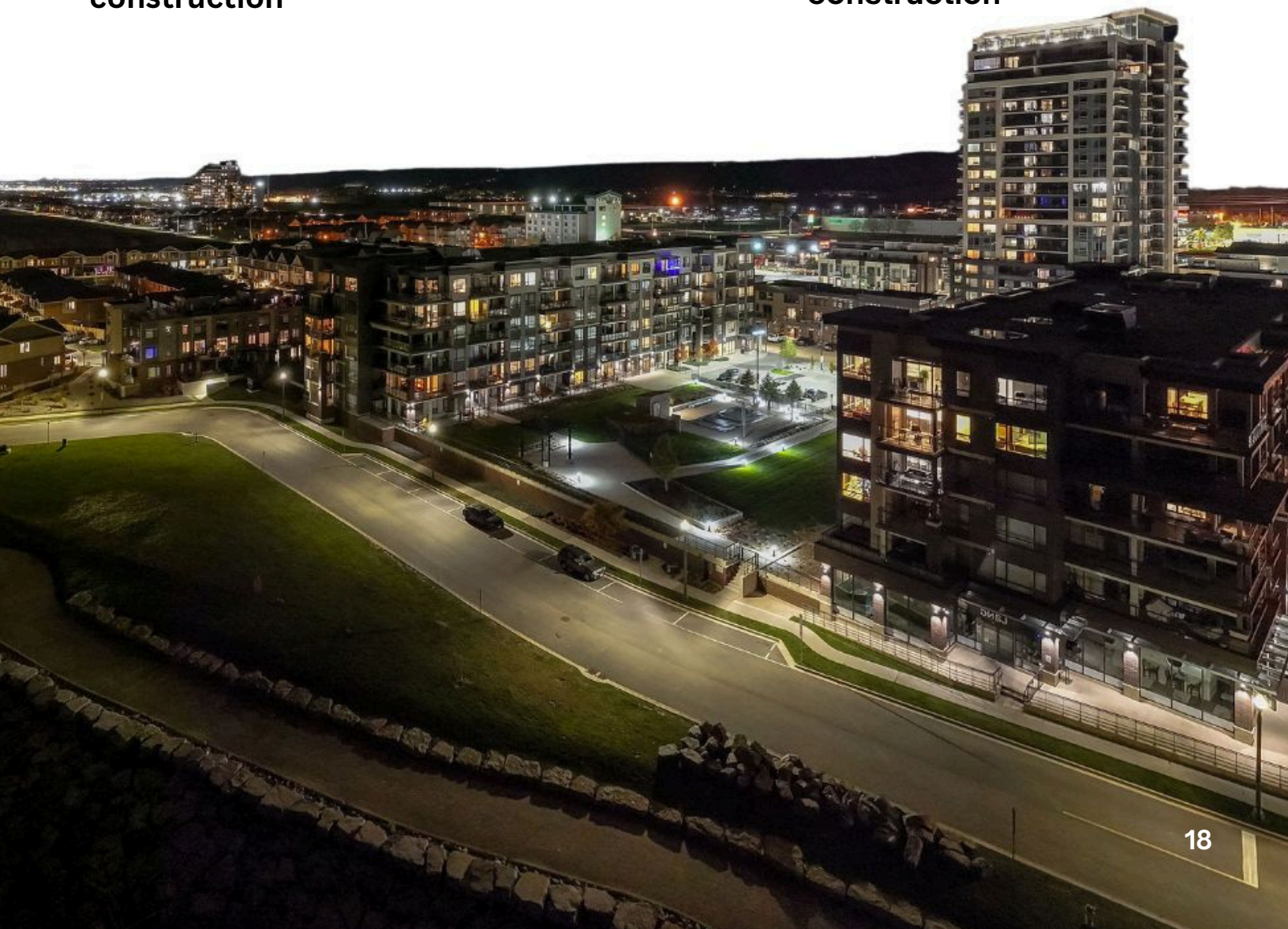
Residential / Mixed-use projects under construction

4

Industrial projects under construction

110

Approved units in 2025 issued for construction



Brick Work: Major Project Profiles



725 South Service Road

A plan to build a major business park along the QEW in the west end of town that is anticipated to bring major employment growth to Grimsby. The proposal is to construct three multi-tenant employment buildings on a 14.23 Ha lot. The application has received site plan approval.



133 Main Street East

The site plan application proposes a 5-storey mixed-use commercial and purpose-built rental residential apartment building with 134 units. The designated heritage house on site is to be retained and reused as a mixed commercial and residential building. The project has received site plan approval.



19 Elm Street & 13 Mountain Street

The proposed development provides for 150 dwelling units rental building with 10% of units being affordable. The public meeting was held in September of 2025. This application remains under review.



5 Slessor Blvd

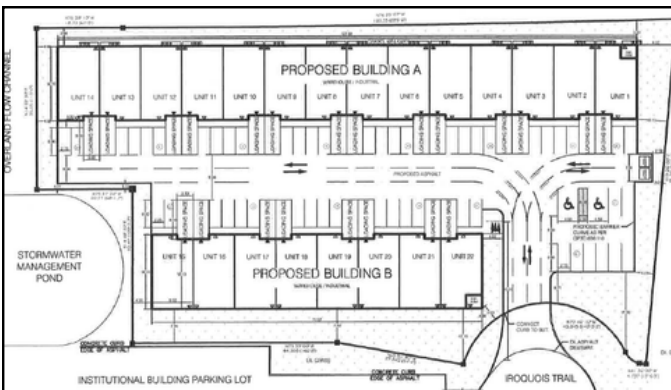
The development consists of a 2 storey, 8 unit stacked townhouse building. The proposal has received zoning by-law amendment approval in 2025. A site plan application is currently under review, projected to be finalized in 2026.

Brick Work: Major Project Profiles



Commisso Estate Winery

The Commisso Estate applied for a Zoning By-law Amendment to allow for special events and an expansion of the on-farm diversified use, supporting local economic development and tourism in Grimsby. The amendment was approved by Council in July of 2025.



Vacant Lands at Iroquois Trail

Following approval for a minor variance application in 2024, a Site Plan Application for a proposed multi-tenant employment plaza at the vacant lands Iroquois Trail commenced in 2025. The application is currently under review.



15 Lake Street

The development consists of a 3 storey, 8 unit townhouse building located within the Marina lands in Grimsby. The application first received Zoning By-law Amendment approval in 2021 and Site Plan approval in 2025. An application for standard condominium was made in late 2025.



Incoming: CooperHaus

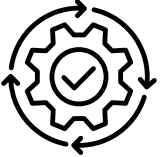
A high-density mixed-use development is proposed at Ontario Street and John Street in the boundary of the Downtown Grimsby. As of 2025, The developer has carried out two public engagement events in the community to receive feedback. A formal application is anticipated to be submitted in 2026.

2026 Look Ahead



Cloudpermit

Implementation of a digital system for efficient planning application review and tracking.



Process Improvements

Review of internal planning processes and implementation strategies.



Fee Review

Staff led review of the development fees and the charges by-law for planning applications.



GO Transit

Municipal coordination with Metrolinx for infrastructure improvements for the future GO station.



OP Completion

Anticipated municipal adoption of the new Town Official Plan and Provincial approval.





TOWN OF
GRIMSBY