

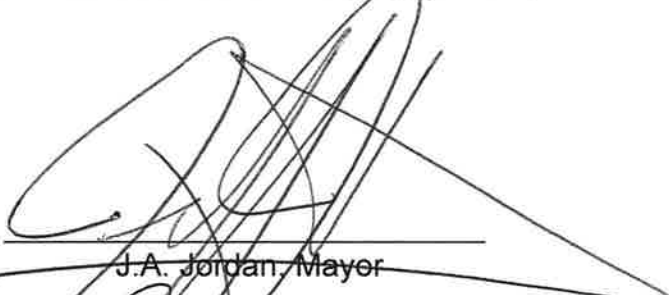
**THE CORPORATION OF THE TOWN OF GRIMSBY**  
**BY-LAW NO. 23-63**  
**A BY-LAW TO AMEND BY-LAW NO. 14-45, AS AMENDED**  
**(9 Windward Drive)**

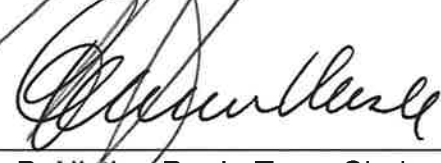
Whereas the Council of the Corporation of the Town of Grimsby deems it expedient to amend Zoning By-law No. 14-45, as amended;

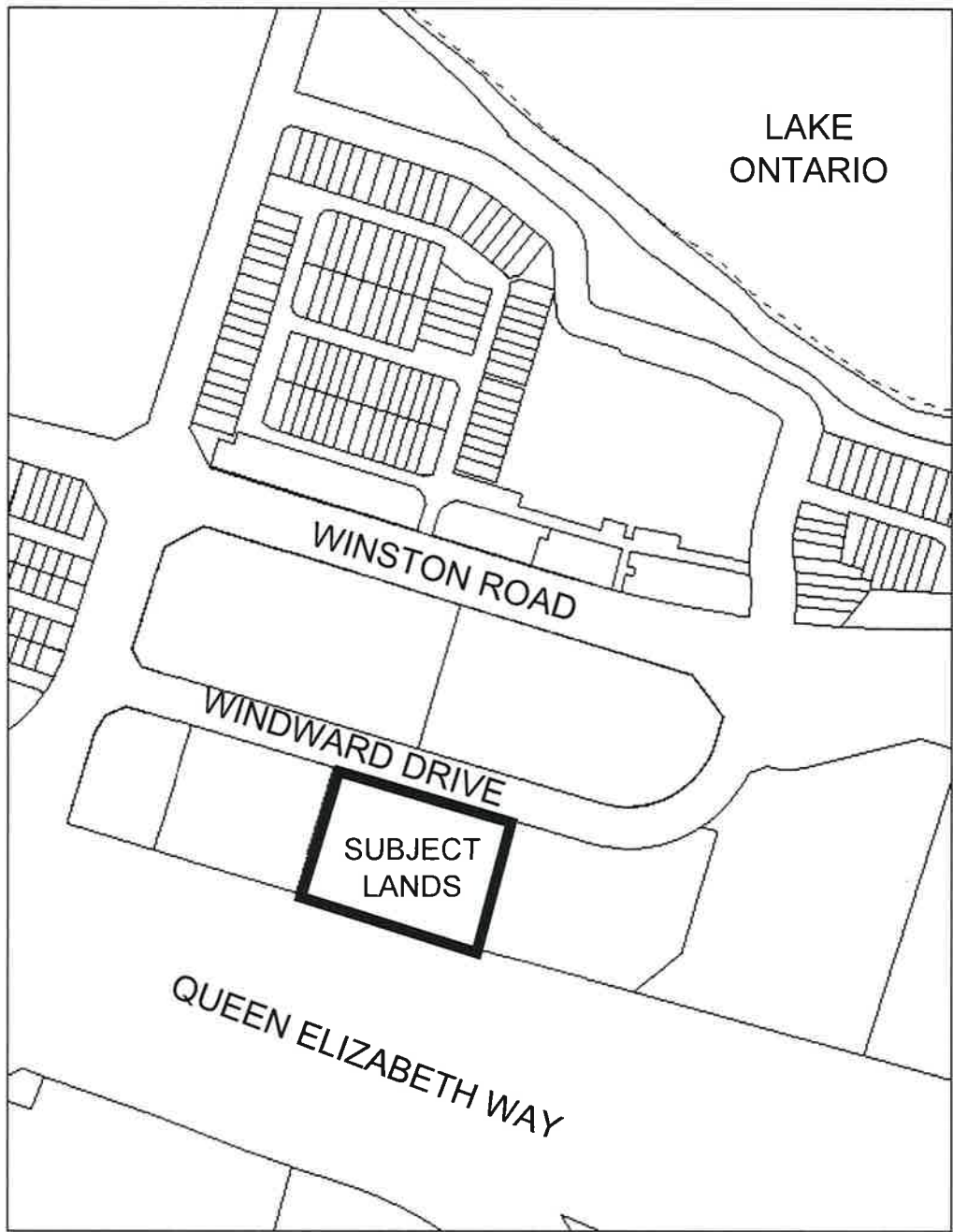
Therefore, the Council of the Corporation of the Town of Grimsby enacts as follows:

1. Schedule 3-A, of By-law No. 14-45, as amended, is hereby further amended by changing the zoning on the lands shown on Schedule 'A' to this By-law as Subject Lands from a Neighbourhood Development "ND" Zone to a Mixed Use High Density Zoned with exceptions "MHD-361" Zone.
2. Schedule 3-B, of By-law No. 14-45, as amended, is hereby further amended by adding exception number 361 to the lands identified on Schedule 'A' to this By-law.
3. Table 12: Permitted Use, Lot, Building and Structure Exceptions, of By-law 14-45, as amended, is hereby further amended by adding site specific regulations as identified on Table 'A' to this By-law.

Read a first time, considered, and passed this 4<sup>th</sup> day of July, 2023.

  
\_\_\_\_\_  
J.A. Jordan, Mayor

  
\_\_\_\_\_  
B. Nistico-Dunk, Town Clerk



THIS IS SCHEDULE 'A' TO BY-LAW NO. 23-63  
 PASSED THE 4<sup>TH</sup> DAY OF JULY, 2023

*[Signature]*  
 MAYOR

*[Signature]*  
 CLERK

**CORPORATION OF THE TOWN OF GRIMSBY**

NOT TO SCALE

FILE: 26Z-16-2205

Table 'A' to By-Law 23-63

Site Sp. #	By-law #	Address	Zone	Additional Permitted Uses	Lot, Building and Structure Exception
361	23-63	9 Windward Drive	MHD	Accessory Showroom, Clinic, Convenience Store to a maximum gross floor area of 464 m <sup>2</sup> , Fitness Studio, Food Store to a maximum gross floor area of 464 m <sup>2</sup> , Pharmacy, Home Occupation as an accessory use limited to those uses that do not have customers and/or clients attending the site	<ul style="list-style-type: none"> <li>a) Minimum permitted front yard shall be 1.0 metres;</li> <li>b) Maximum permitted building width shall be 72 metres;</li> <li>c) Parking ratio of 1 parking space per 28 m<sup>2</sup> of employment and commercial gross floor area be permitted;</li> <li>d) Parking ratio of 1.5 parking spaces per residential unit, inclusive of visitor parking, be permitted;</li> <li>e) Total of 12 accessible parking spaces be permitted;</li> <li>f) Permit a Home Occupation use within a residential unit;</li> <li>g) Residential uses are only permitted subject to the provision of a minimum gross floor area of 1,900 square metres reserved for employment generating uses</li> </ul>